



PAUL ROBINSON MORTGAGES

INDEPENDENT FINANCIAL ADVICE AVAILABLE

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ARMSTRONG GORDON

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Typically we do not charge a fee for mortgage advice. However depending upon your circumstances a fee of up to 1.5% of the mortgage amount may be charged. Approval Number H0114170





ARMSTRONG GORDON

& Company Limited
THE PROFESSIONAL PROPERTY AGENT [Est. 1947]



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ARMSTRONG GORDON



ARTICLAVE

Apt 1, 2 & 3 Millrace Court
6 Sconce Road
BT55 7RQ
Prices From £135,000

028 7083 2000
www.armstronggordon.com

Armstrong Gordon are delighted to offer for sale a superb new development of two bedroom apartments located on the corner of Sconce Road on entering the popular village of Articlave. This unique development is situated with only a stone throw away from Castlerock Golf Club, Castlerock Beach and the famous Mussenden Temple. These stunning ground floor apartments come with a turn key finish having the choice of flooring and tiling throughout with bespoke contemporary kitchens and benefits from a large enclosed private parking area. This development has been granted Planning Permission under planning application LA01/2018/0935/F.

Leaving Coleraine heading towards Castlerock on the Quilly Road, you will come to the village of Articlave. Once in the village, Sconce Road will be your first left before the filing station and the development with be located directly on your left hand side.

ACCOMMODATION COMPRISES:

GROUND FLOOR:

Entrance Hall:

With storage cupboard and feature modern entrance door.

Open Plan Kitchen/Dining/Living Area:

With LED downlights and high sliding patio doors for inside out living leading to rear garden.

Utility Room:

Bedroom 1:

Bedroom 2:

Shower Room:

With white suite comprising w.c., wash hand basin set in vanity unit with tiled splashback, fully tiled thermostatically controlled walk in shower cubicle with rain shower head with hand shower, chrome towel radiator, LED downlights, extractor fan and choice of flooring and wall tiling.

EXTERIOR FEATURES:

Outside to rear there is garden sown in grass seed and landscaped with Cordyline plants extending to a tarmac parking area. There is also a large paved patio area to rear with feature external lighting. Outside tap to rear.

SPECIAL FEATURES:

- ** Oil Fired Central Heating With Thermostatically Controlled Radiators & Energy Efficient Boiler
- ** Contemporary Grey Double Glazed Windows & Doors
- ** Tasteful Interior Decoration
- ** Bespoke Contemporary Kitchens With A Selection Of Doors, Worktops And Handles
- ** Appliances Included In Sale: Oven & Hob, Extractor Fan, Fridge Freezer & (Where Applicable) Dishwasher & Washer Dryer
- ** Wired For Intruder Alarm
- ** Bathrooms To Include Vanity Units, Rainfall Shower Head with Hand Shower (Where Applicable) With Chrome Towel Radiators in Bathrooms
- ** Carpets Included In All Other Rooms
- ** 9 Carparking Spaces For 6 Apartments (1 Allocated To Each Apartment & 3 Visitor Parking)

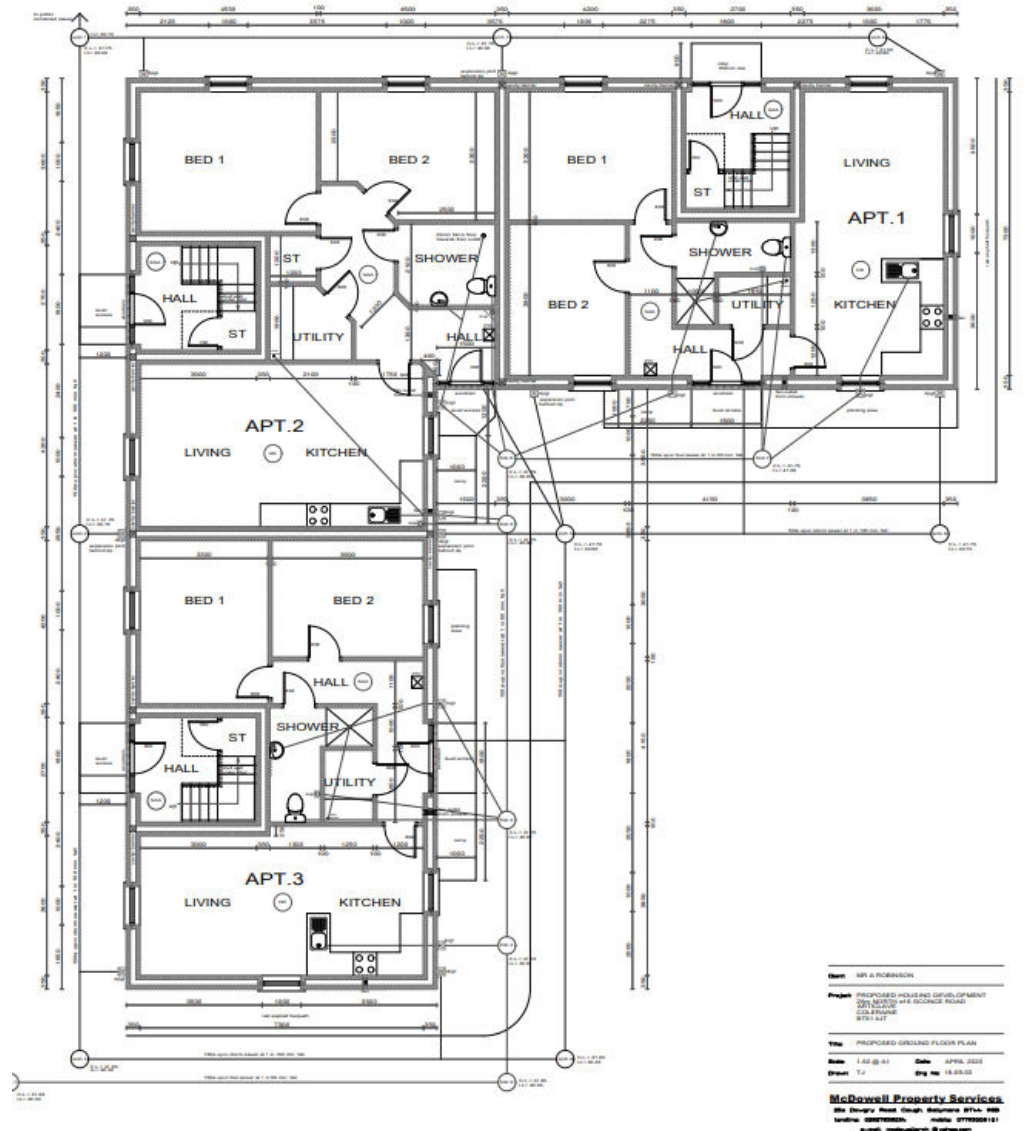
TENURE:

Leasehold

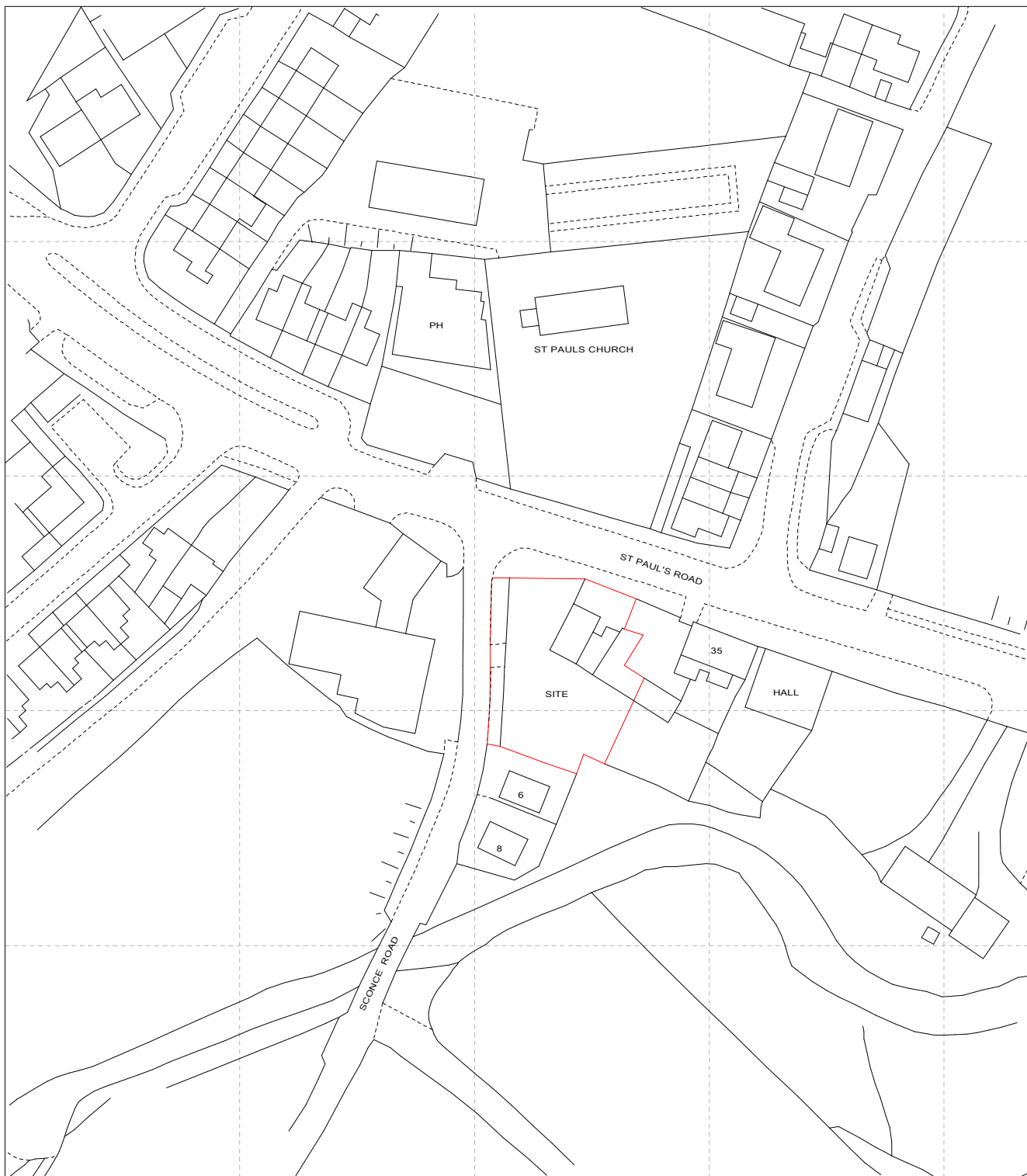
PRICING:

Apartment Unit No.	Floor	Size	Price
1	Ground Floor	755 Sq Ft	Prices from £135,000
2	Ground Floor	900 Sq Ft	Prices from £139,950
3	Ground Floor	755 Sq Ft	Prices from £135,000

FLOOR PLAN:



** Please find attached inserts for further information regarding proposed boundary lines, elevation plans, location plans and site layout documents. **



SITE BOUNDARIES OUTLINED IN RED

I.G.REF 12-10

MAP REPRODUCED WITH PERMISSION OF OSNI

Client: MR A ROBINSON

Project: PROPOSED HOUSING DEVELOPMENT
25m NORTH of 6 SCONCE ROAD
ARTICLAVE
COLERAINE
BT51 4JT

Title: LOCATION PLAN

Scale: 1:1250 @ A4 Date: APRIL 2020

Drawn: TJ Dwg No: 18-09-01

McDowell Property Services

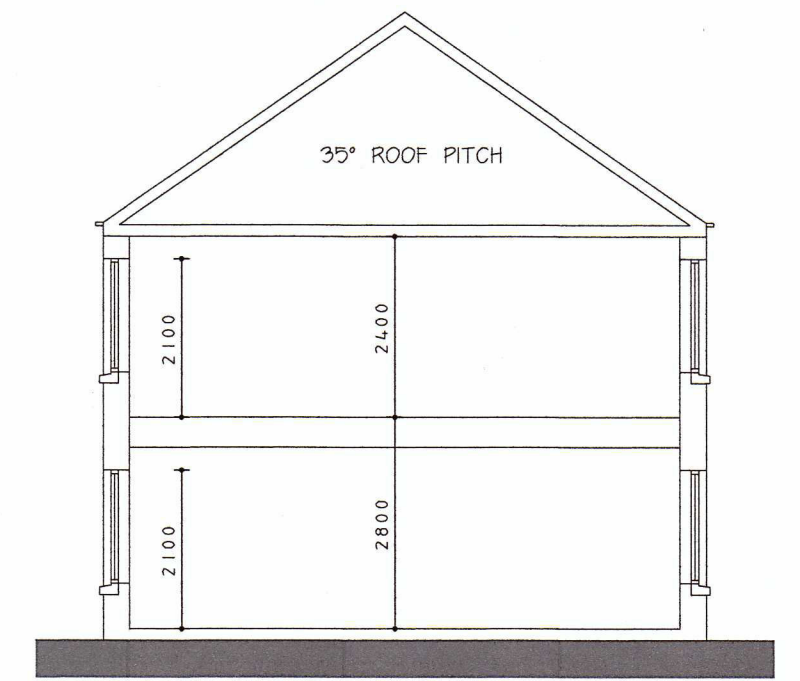
25a Dowgry Road, Clough, Ballymena BT44 9SB
landline: 02827638034 mobile: 07793006101
e-mail: mcdowellarch@yahoo.com



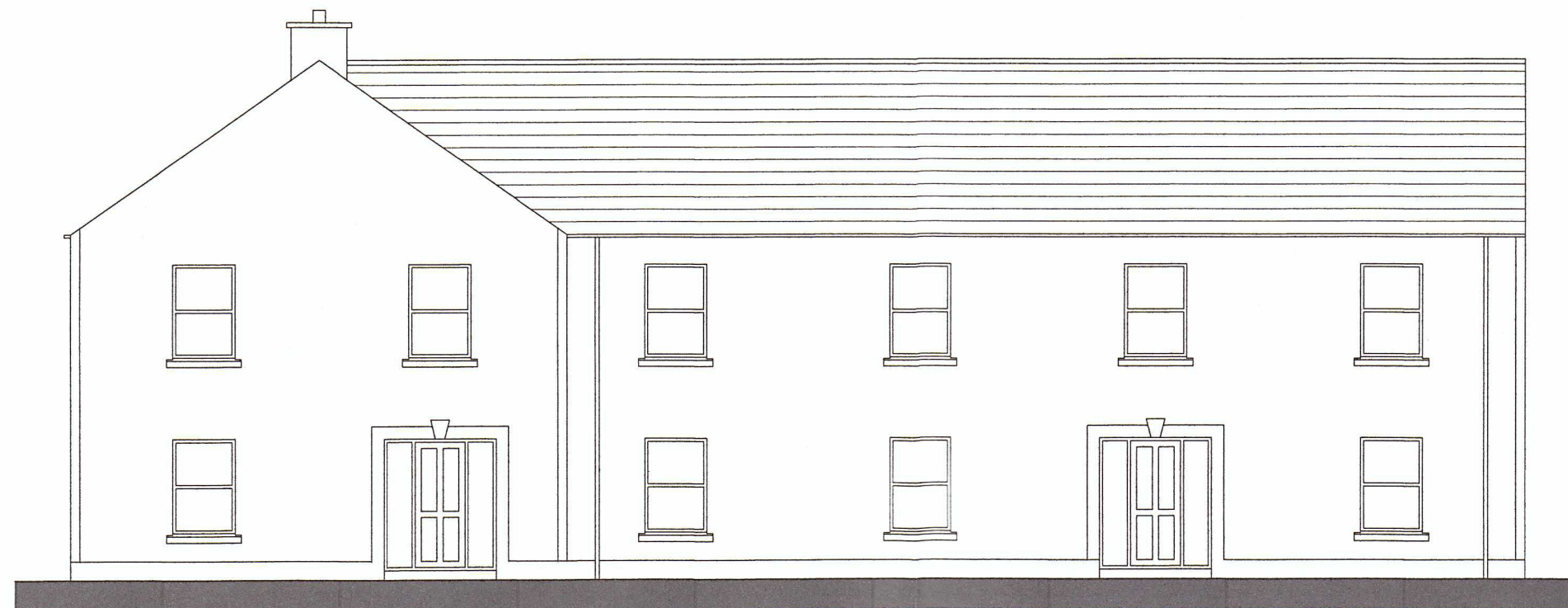
NORTH ELEVATION



SOUTH ELEVATION



SECTION

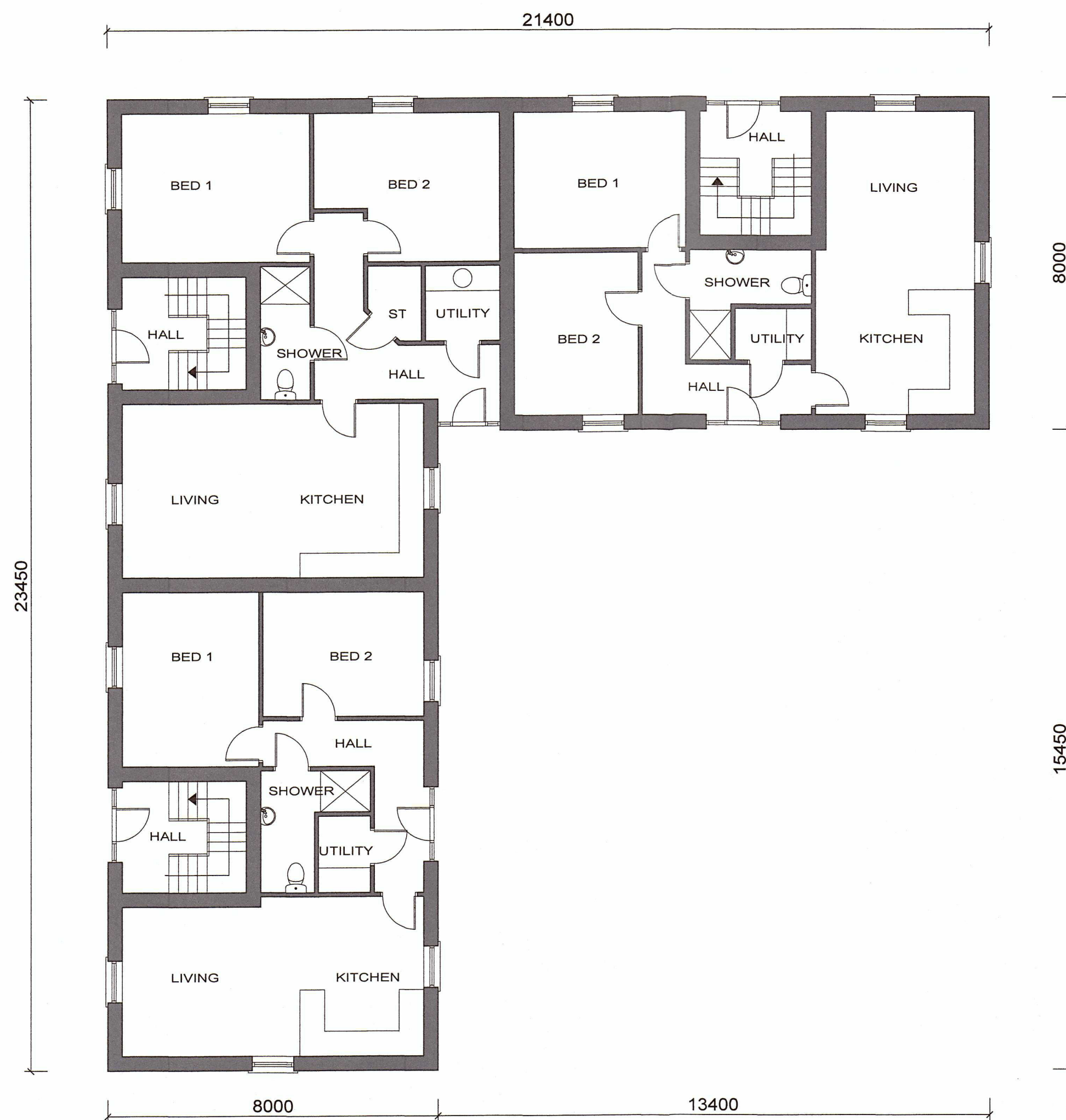


WEST ELEVATION



EAST ELEVATION

EXTERNAL FINISHES
NATURAL WELSH SLATE ROOFING
PAINTED ALUMINIUM RAINWATER GOODS
ALUMINIUM DOORS AND WINDOWS
ROUGHCAST RENDERED WALLS WITH SMOOTH BASE AND BANDS



GROUND FLOOR PLAN



FIRST FLOOR PLAN

Planning Office
RECEIVED
23 JAN 2020
File No.
Causeway Coast and
Glens Borough Council

LA01/2018/0935

Causeway Coast and
Glens Borough Council
Drawing
Number ...G3...REV 3...

Planning Act
2011
Causeway Coast
and Glens
Borough Council
GRANTED
Subject to Conditions (if any)
as set out on
LA01/2018/0935
Decision form No.
Date9/3/20

REV.'B' - JAN. 2020 - REVISED EXTERNAL FINISHES

Client: MR A ROBINSON

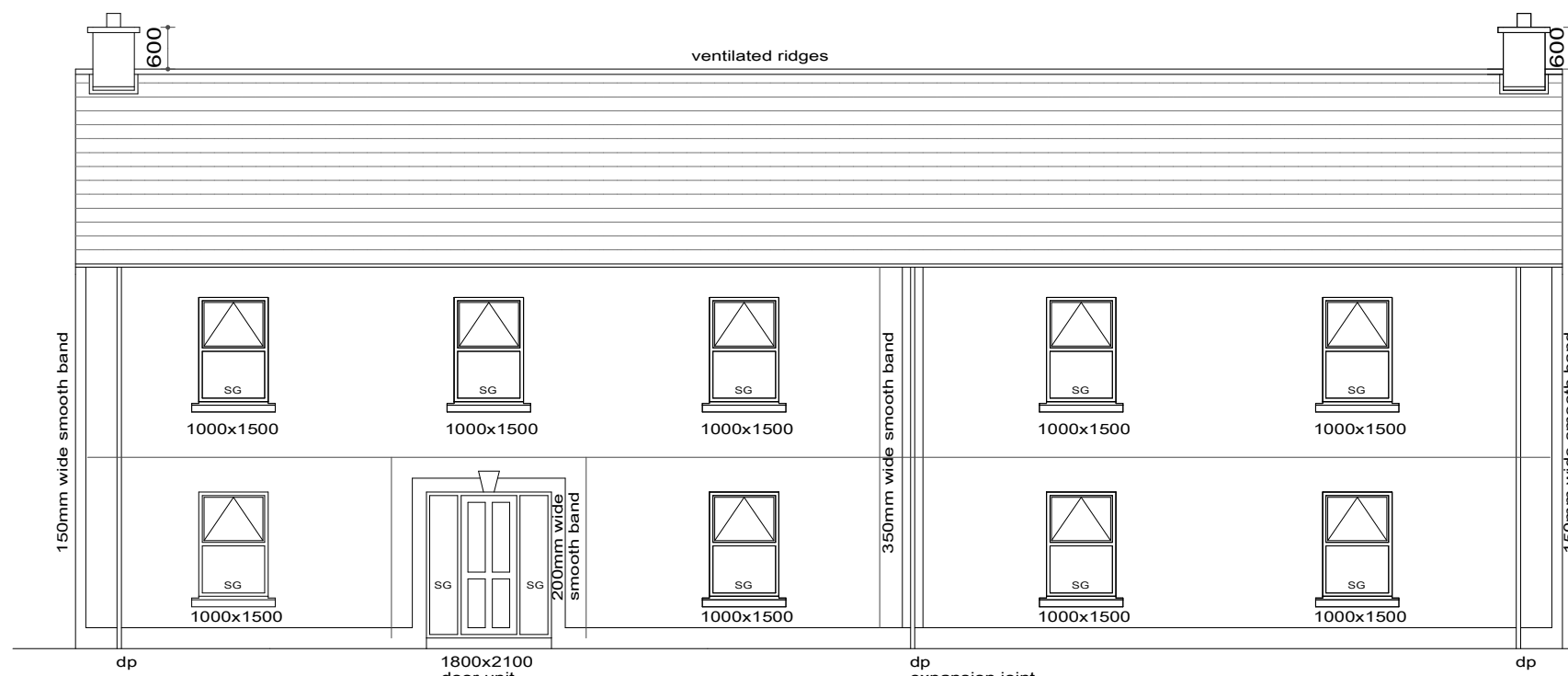
Project: PROPOSED HOUSING DEVELOPMENT
25m NORTH of 6 SCONCE ROAD
ARTICLAIVE
COLERAINE
BT51 4UR

Title: PROPOSED PLANS

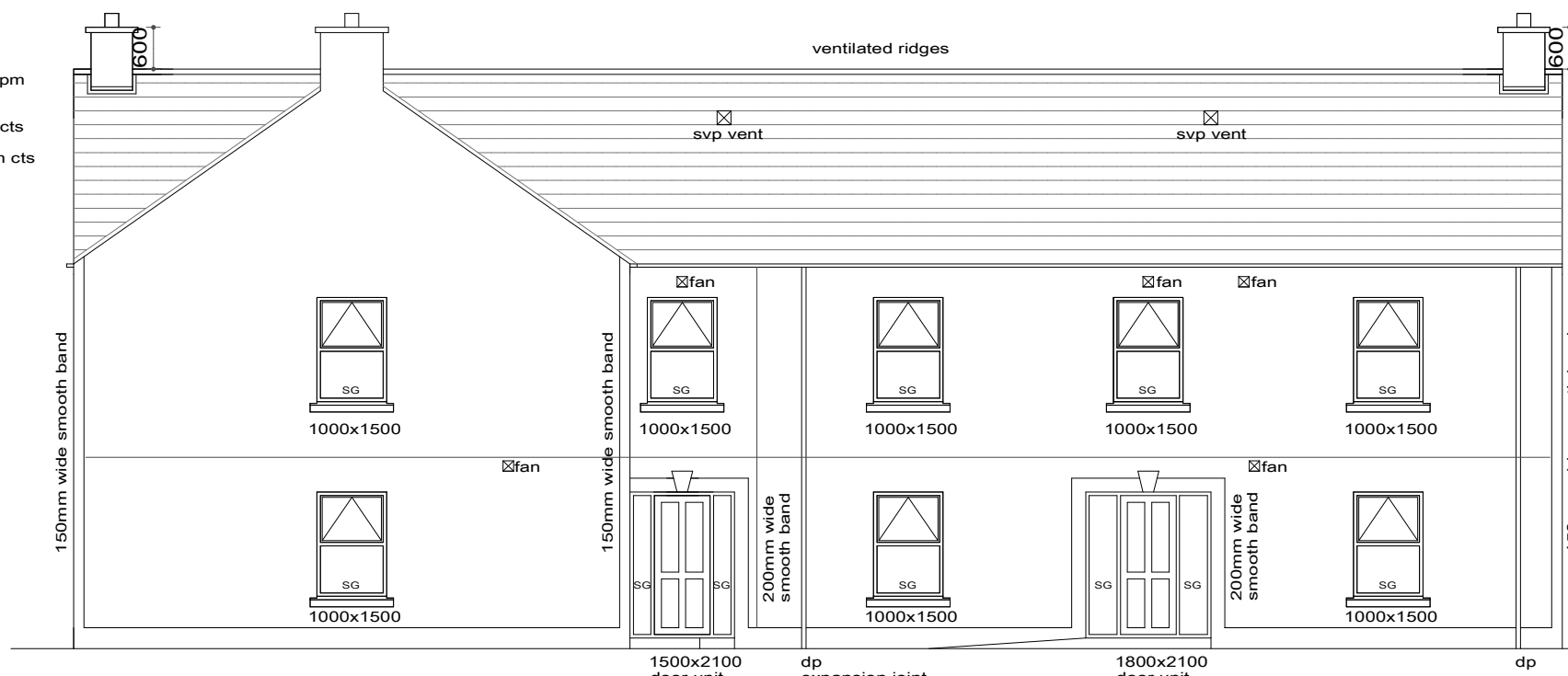
Scale: 1-100 Date: SEPT. 2019

Drawn: TJ Dwg No: 18-09-03'B'

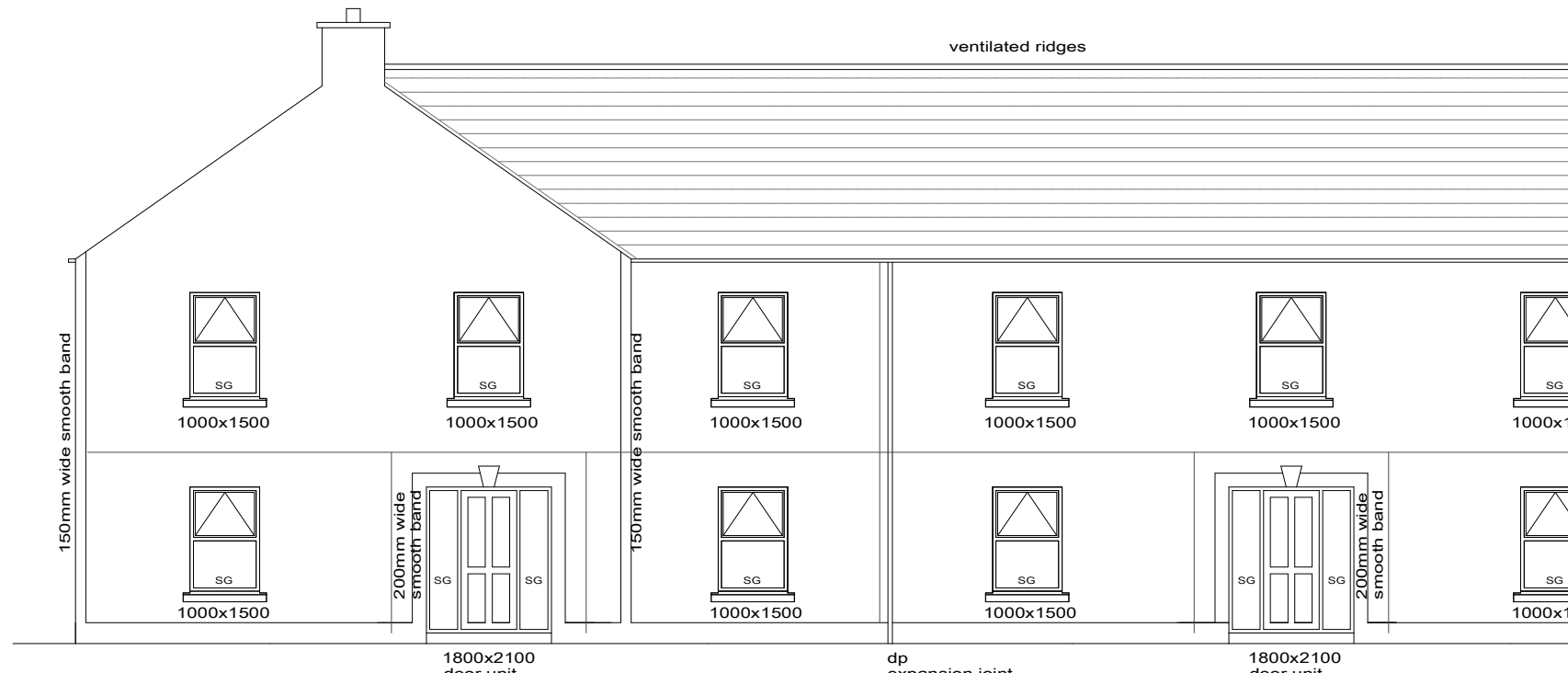
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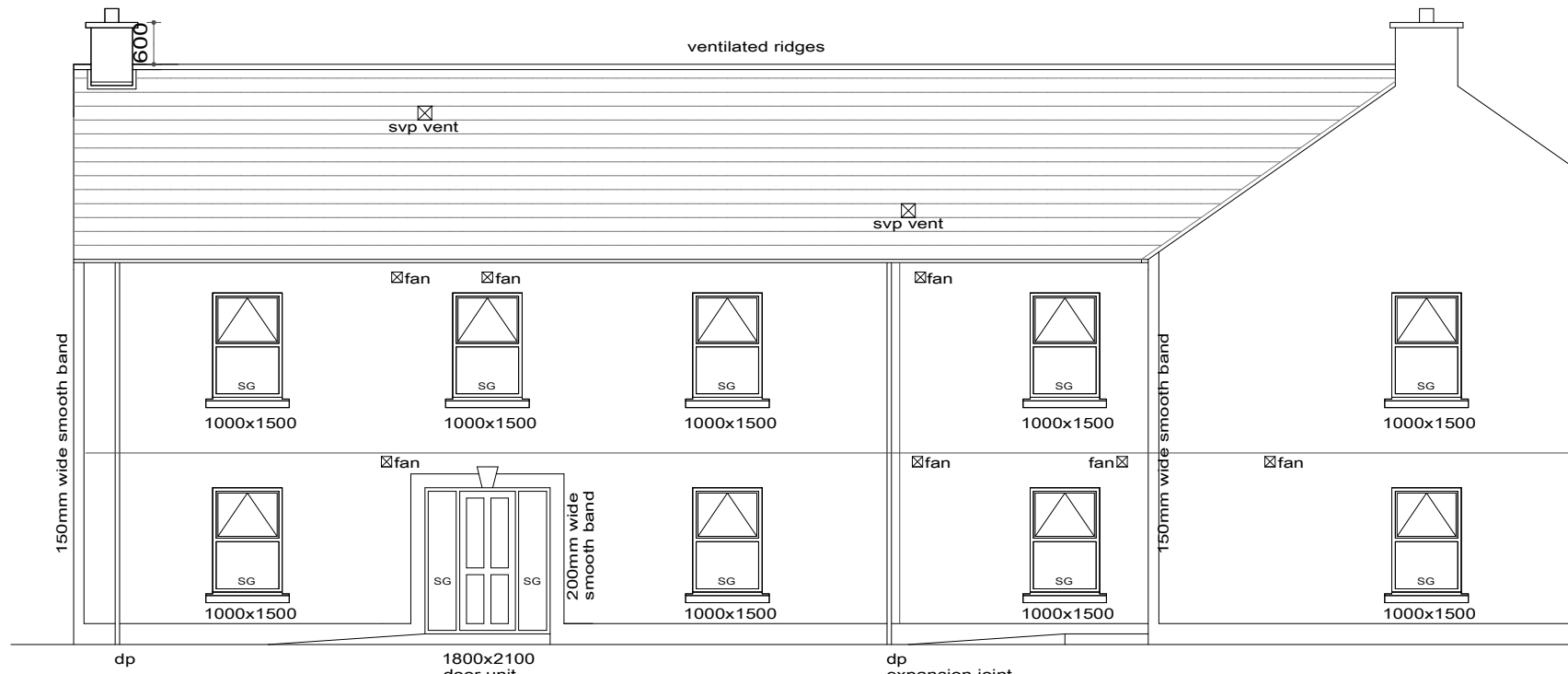
NORTH ELEVATION - ST. PAULS ROAD



SOUTH ELEVATION



WEST ELEVATION - SCONCE ROAD



EAST ELEVATION

EXTERNAL FINISHES -

Natural Welsh Slate Roofing
Black powder coated Aluminium Rainwater Goods
Powder coated Aluminium Doors And DG Windows - colour to be selected
Roughcast Rendered Walls With Smooth Base And Bands

FIRE PROTECTION -

Cavity walls between first floor apartments to be taken up to underside of roof and firestopped with rockwool or equal
Cavity barriers as shown at all junctions between apartments including around staircases to be Rockwool TCB 160mm x 160mm or equal installed in accordance with the manufacturer's instructions.
Provide 1 hr/1 intumescent collars to all drainage & service pipes passing through compartment walls and floors.
Cavity closure around external openings as noted elsewhere.

ROOF CONSTRUCTION - truss roof - 35 degree pitch

Roof coverings, battens and underlays must be installed to comply with BS 5534:2015
Dry vent ridge tiles and slate roofing
50mm x 25mm treated timber battens at required gauge
layer of slating felt
Trusses at 400mm cts to be manufactured, erected and braced to comply with BS 5268:PT.3:2006
Design details to be submitted to building control prior to installation
200mm insulation quilt between ceiling members with additional 200mm quilt laid over ceiling members
12.5mm min. plasterboard bond and skim ceilings
Moisture resistant plasterboard to all wet areas.
100mm x 50mm treated timber wall plates anchored at 2m max cts using 30mm x 5mm galvanised ms straps
provide lateral support to gable walls using 30mm x 5mm galv ms straps
screwed to 3 no. adjacent rafters/joints with ends built into gables at 2m max cts
Provide solid bridging below lateral restraint straps

Roofspace hatch to be 600mm min. square
proprietary insulated and capable of being fixed shut.

All gutters 100mm and downpipes 63mm
All roofspaces to be ventilated with Glidevale FV250 over fascia vents and 10mm continuous ridge vents
Provide Glidevale gutter spacer brackets under FV250 vents
Provide Glidevale RV625 rafter vents as required.
Roof ventilation to comply with BS 5250:2011
Code 4 lead flashings and valleys laid in 1.5m max lengths
25mm treated timber valley boards

CONCRETE FIRST FLOOR CONSTRUCTION -

100mm min fine aggregate screed.
Impactomat 6mm or equal acoustic underlay turned up to floor level at wall abutments.
200mm deep prestressed concrete floor slabs as per manufacturer's layout details.
Design details to be submitted to building control prior to installation.
Proprietary suspended ceiling grid such as Gyproc Casoline MF system or equal.
12.5mm plasterboard and skim finish.

GROUND FLOOR CONSTRUCTION -

100mm fine aggregate screed on 1200 gauge dpm on 100mm Thermalfloor TF70 zero CDP or equal on dpm on 100mm min. C15 concrete sub floor 150mm min. and 600mm max. compacted and blinded hardcore 30mm min hd insulation around perimeters from finished floor down to floor insulation.

FOUNDATIONS -

750mm x 300mm min. C20 concrete strip founds to cavity walls
600mm x 300mm min. C20 concrete strip founds to 100mm wide walls
Final sizes to be agreed with building control when soil type is determined.
Foundations have been designed to be adequate if bedded on sub soil type 4 or better as defined in table 4E.1 of technical booklet D to the building regulations NI 2012
If sub soil of this type is not found at normal depth alternative foundation design based on a soil investigation report will be submitted.

EXTERNAL DOORS & WINDOWS -

SG denotes safety glass to BS5206 : 1981
Glazing suitable for installation in a critical location should satisfy the test requirements for glass, Class 3 of BS EN 12600
All windows and doors double glazed aluminium using low E glass with 16mm min. cavity between panes.
Door u-value 1.6w/m2k. Window u-value 1.4w/m2k
Provide obscure glazing to all bathrooms, en-suites, wcs
All glazed openings less than 800mm above floor level and all door and sidelights less than 1500mm to be fitted with laminated safety glass to BS 6206
Safety glazing to both sides of doors and door side panels
Pane widths greater than 900mm to meet Class 2 of BS EN 12600
Controls to operable windows to be located within 1.9m off the floor or within 1.7m off the floor if access is obstructed.
Means of safe cleaning of glazing to comply with TB V 2012 Section 5
Internal face cleaning to be accessed safely from floor level
External face cleaning to be accessed from a safe place having a firm level surface and reached from an area adequate in size for the method of cleaning
Openers in ground floor windows directly adjacent to external paths and ramps shall be fitted with restrictors to provide protection from potential impact.
Provide trickle ventilators to all kitchen and bathroom / shower windows to give at least 2500mm2 equivalent area in each room

VENTILATION -

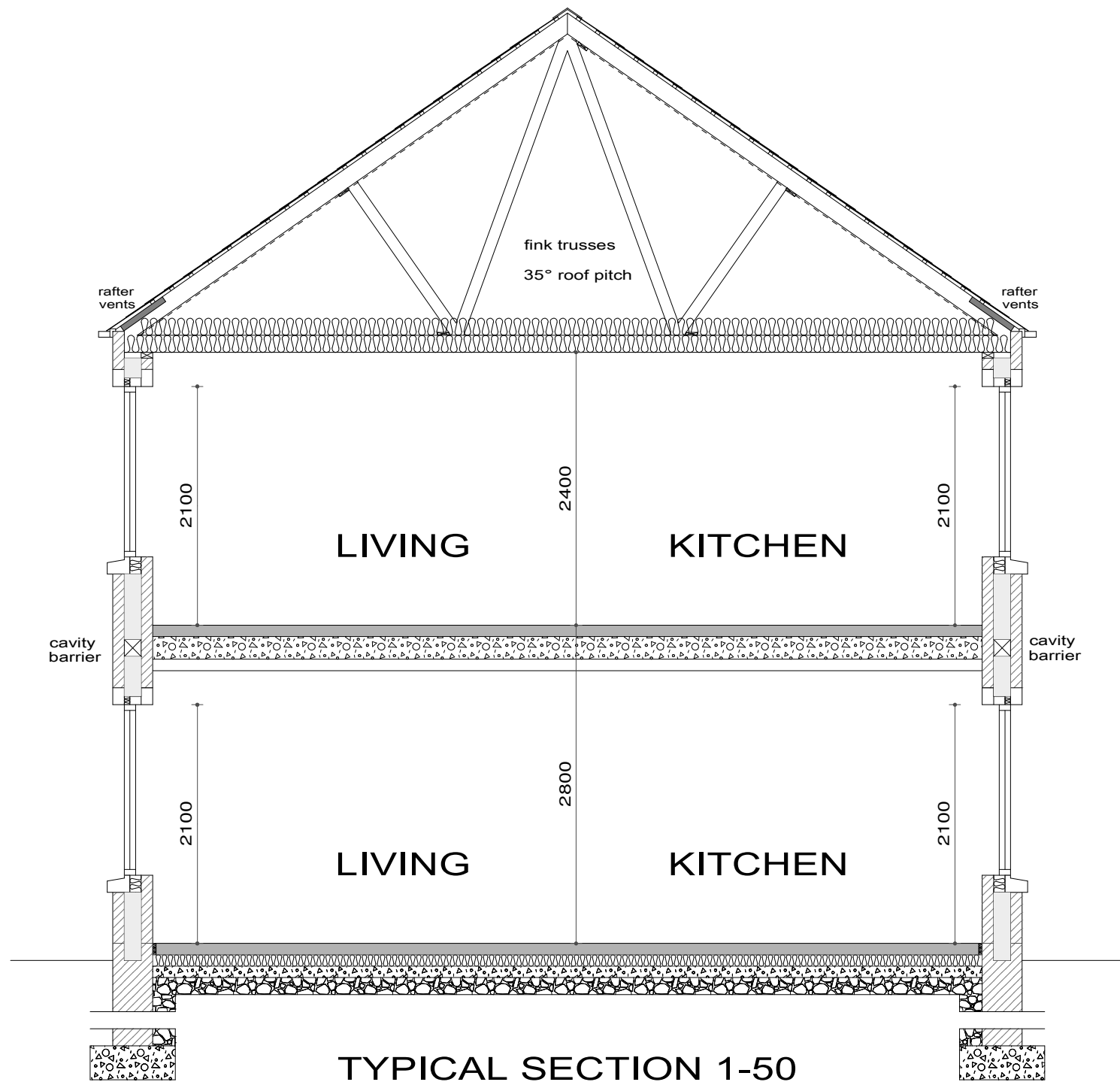
All natural & mechanical systems to be designed, installed & commissioned
In accordance with the 'Domestic Ventilation Compliance Guide'.
Provide mechanical extractors with minimum rates as follows -
Kitchen 60 l/sec. / Utility 30 l/sec. / bathroom, en-suite, wc 15 l/sec
Extract fans to be positioned within 400mm of ceiling.
Final locations to be agreed on site.
Cooker hoods to be positioned between 650mm & 750mm above appliance
Fans provided in rooms with no operable window should have an overrun of at least 15 minutes
Provide 10mm gap above the fitted floor finish level to bottom of all doors or 20mm gap above the structural floor finish to ensure good air transfer.
Provide rapid ventilation to each habitable room / wet room by way of window openers having an aggregate opening area of at least 1/20 floor area of room served.
Background ventilation shall be provided by way of Beam PIV systems or other equal & approved which have been designed to meet the minimum areas required - outlets located as shown
Provide wall mounted PIV units in ground floor apartments & loft PIV units in first floor apartments all in agreed locations
System shall be installed, tested and commissioned on completion and certified compliant with relevant building regulations.
It should be noted that in addition to the installation of PIV system trickle ventilation will be required if air permeability test result is less than 3m3/h.m2

BACKGROUND VENTILATION REQUIREMENTS - mm2

APT.1 - 60,000
APT.2 - 70,000
APT.3 - 60,000
APT.4 - 75,000
APT.5 - 82,000
APT.6 - 75,000

ACOUSTICS-

Sound insulation tests shall be carried out on all apartments upon completion
These shall comply with TB'G - Appendix B - Procedures for sound insulation testing.
Test results shall be submitted to building control not more than 5 days after completion of tests.
Soil pipes passing through apartment floors shall be insulated in accordance with TB'G DIA.3.6
Wrap pipes with 25mm min unfaced mineral fibre.



TYPICAL SECTION 1-50

Client:	MR A ROBINSON
Project:	PROPOSED HOUSING DEVELOPMENT 25m NORTH of 6 SCONCE ROAD ARTICLAIVE COLERAINE BT51 4JT
Title:	PROPOSED ELEVATIONS & SECTION
Scale:	1-50/100 @ A1
Date:	APRIL 2020
Drawn:	TJ
Org. No:	18-09-05

McDowell Property Services
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GENERAL NOTES:-
All works to comply with current Building Regulations, British Standard Codes of Practice and Health & Safety Regulations.
All products shall be used and installed in compliance with manufacturer's instructions.
All measurements to be verified on site.
All structural timbers to be stress graded C16 unless stated otherwise.
All structural timbers to be marked dry or kiln dried.
All dimensions are in millimetres unless stated otherwise.

CAVITY WALLS -
350mm wide constructed in dense concrete blockwork rendered with solid blockwork to ground level-s/c plaster and thistle skim finish internally.
Walls tied every 750mm horizontally, 450mm vertically and 225mm around openings using galv ms well ties to comply with BS 5628-1:2005, BS EN 845-1:2003, & DD140-2:1987
Use 275mm long thick plate type wall ties for 150mm wide cavities to comply with Technical Booklet 'D' - 4C 1.1
Cavities closed at eaves and gables using 12.5 mm masterboard
Insulate 150mm wide cavities using full fill platinum ecobead.
Cavity to extend 225mm min. below lowest dpc in blockwork
All horizontal dpcs in walls to be 150mm min above ground level
Provide vertical dpcs at all external jambs
Provide dpcs between lintols in external walls
Provide dpcs behind and under concrete window cills
Insulate behind all dpcs in external walls as shown on accredited details.
Full fill mineral wool slab at head
50mm thermalwall at jambs
50mm thermalwall at sill for 100mm cavity
100mm thermalwall at sill for 150mm cavity

FIRE RESISTING CAVITY CLOSURE AT ALL EXTERNAL OPENINGS -
Heads & Jamb - install 150mm x 50mm rockwool batt or equal within cavity adjacent to thermal insulation
Cills - provide 12mm masterboard closer under dpc at precast cill.

LINTOLS -
Use 150mm x 100mm rc lintols for spans up to 1200mm
Use 225mm x 100mm rc lintols for spans 1201mm to 1800mm
Use 225mm x 150mm prestressed for spans up to 3600mm

LINTOLS UNDER CONCRETE FLOOR SLABS -
150mm x 100mm precast rc lintols for spans up to 900mm
150mm x 100mm prestressed for spans 901mm to 1200mm
225mm x 100mm prestressed for spans 1201 to 1800mm
Use steel beams for spans over 1800mm

EXPANSION JOINTS -
Create expansion joints in outer leaf of cavity blockwork where shown.
Use 12mm wide flexcell or equal filler strips and seal with clear flexible sealant

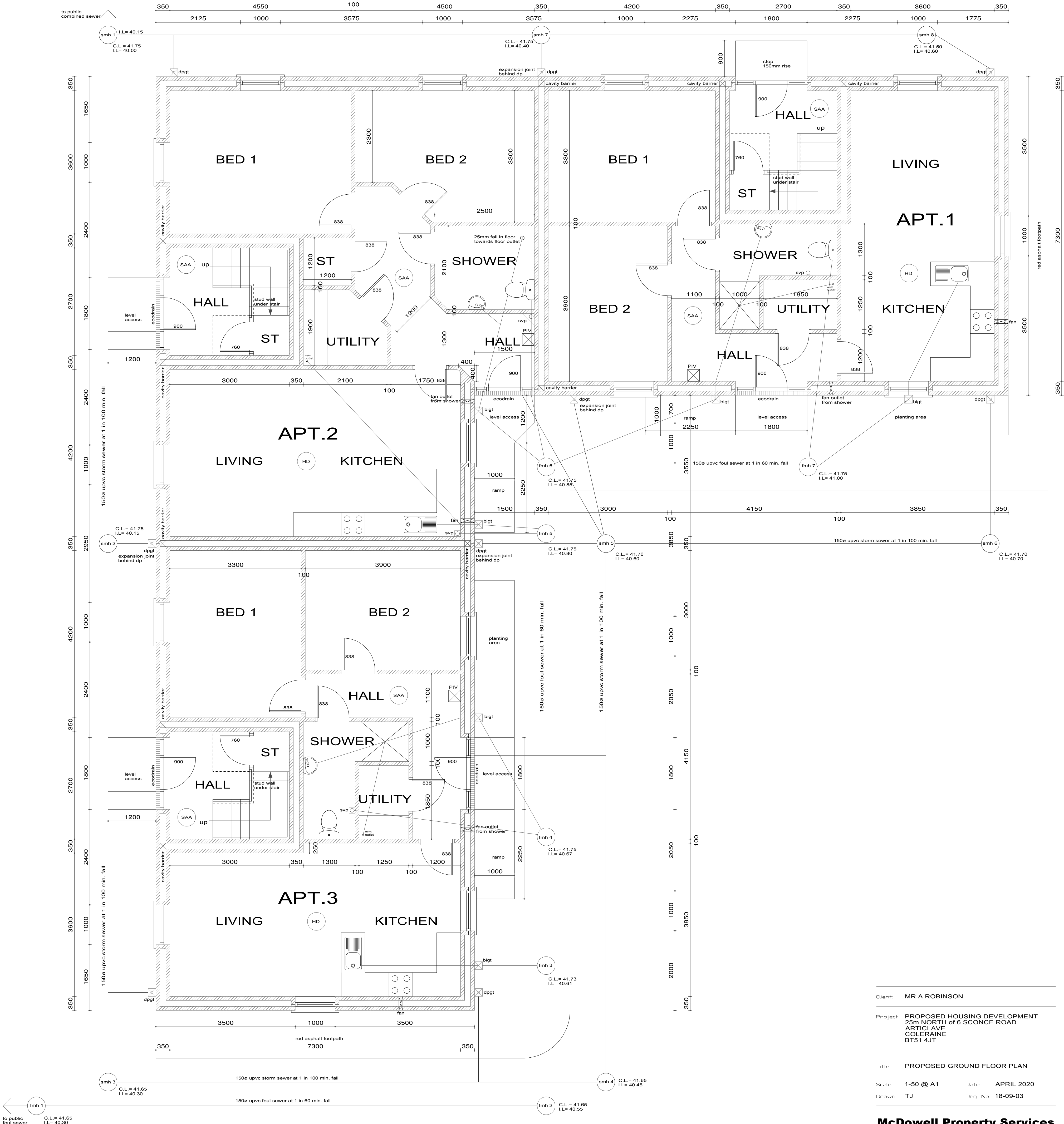
DISABLED PROVISIONS -
Provide level access as indicated
with ground fall away from it at 1 in 15 gradient.
Level access surface to be firm and even.
15mm max threshold at principal entrance door of min. clear width 775mm
Ramps to have unobstructed width of 900mm min with landings of unobstructed length 1200mm min
Damp proof along length of ramp by turning dpc up outer face of inner leaf from lap with floor dpm and turning back into leaf 150mm min above flt
Provide a clear space in front of the wc 900mm wide x 750mm deep to enable wheelchair transfer.
The surface of the approach available to a wheelchair user from vehicle alignment point to principle entrance shall be strong enough to support the weight of the user and their wheelchair and smooth enough to permit easy manoeuvre. It shall also take account of the needs of those using walking aids.
Width of approach shall be 1200mm min.
Level access & ramp to each ground floor apartments / entrance step to apartment 4 to be formed with selected colour precast concrete paving slabs
Level access to apartments 5 & 6 to be formed in red asphalt

STUD WALL CONSTRUCTION -
75mm x 50mm timber framing at 400mm horiz cts with 12.5 mm plasterboard & skim to outer side

STAIRS - timber construction
1000mm wide
Min. unobstructed width 900mm
300mm high continuous handrails both sides
900mm high guardrails to comply with TB H 2012 Table 5.1
Guardrails to withstand minimum horizontal force of 0.36kN/m
Timber handrail fixed to wall
Outer handrail to be toughened glass located over string of stair supplied and installed by specialist manufacturer to comply with BS 6180 and approved by building control prior to installation.
Ensure that any gaps between stairs and rails are less than 100mm
2m min. head clearance above pitch line.
14 no. risers at 200mm approx.
13 no. goings at 230mm min.
Stair pitch shall not exceed 42 degrees.

Provide stud walls under part stairs as shown with 750mm wide access doors

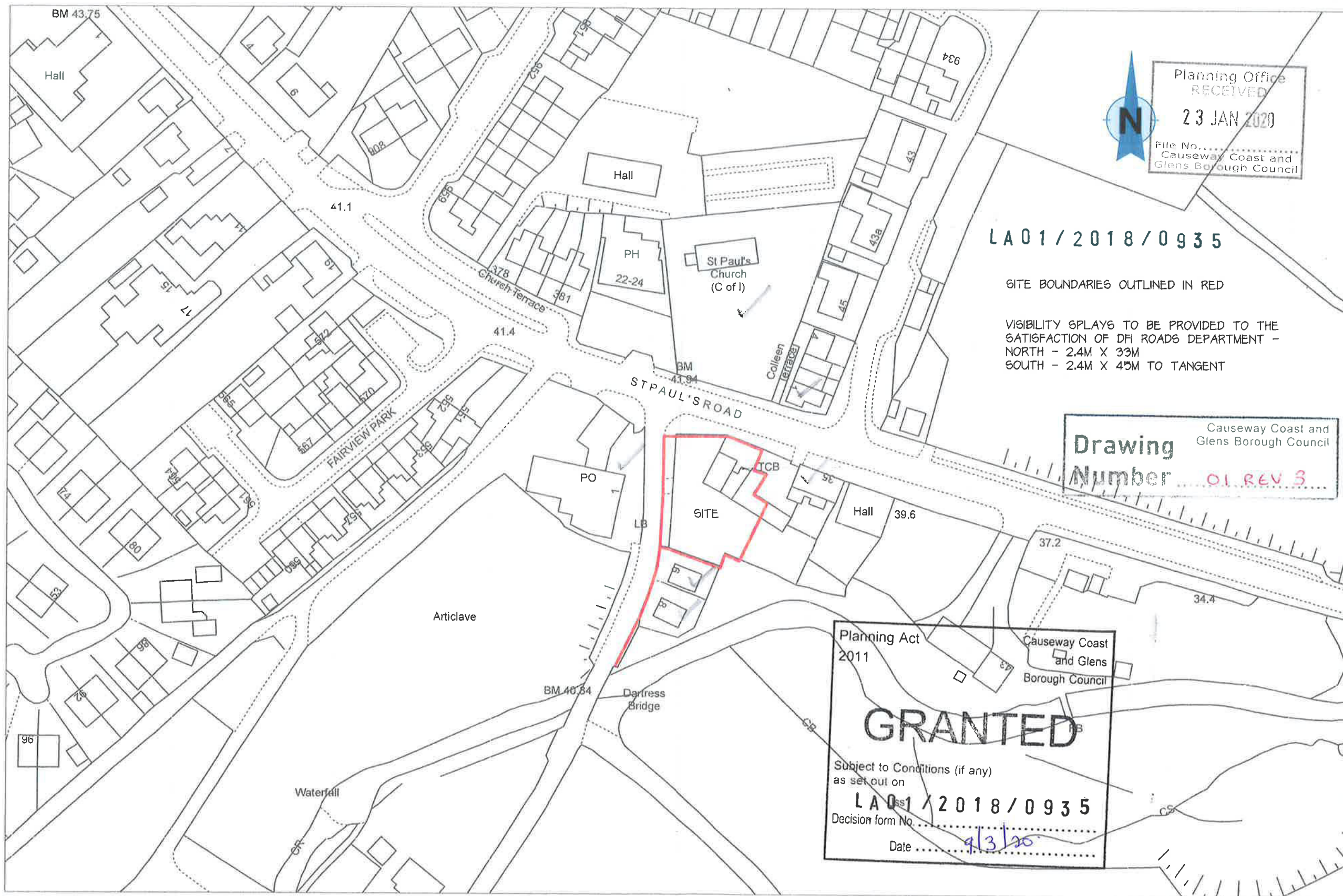
DRAINAGE -
Sanitary pipework to comply with the requirements of Technical Booklet N, Section 2.
Underground foul drainage to comply with the requirements of Technical Booklet N, Section 3.
Rainwater drainage to comply with the requirements of Technical Booklet N, Section 4.
Main foul sewer pipes to be 150mm dia upvc laid to 1 in 60 falls bedded and surrounded in pea gravel
Dwelling connections to be 100mm dia upvc laid to 1 in 40 falls bedded and surrounded in pea gravel
Main storm sewer pipes to be 150mm upvc laid to 1 in 100 falls bedded and surrounded in pea gravel
Connections from dpgrts to be 100mm dia upvc laid to 1 in 60 falls bedded and surrounded in pea gravel
Pipe cover for flexible pipes to be 600mm min under vehicle areas and 300mm min elsewhere
Pipe covers for rigid pipes are shown in TB'N table 3.3
Pipes with less cover than above to be surrounded in concrete as per TB'N diagrams 3.4 & 3.5
Side cover for all pipes should be 150mm or the diameter of the pipe - whichever is greater.
Pipe beddings are shown in TB'N diagrams 3.2 & 3.3
Backfilling should not displace the drain from its line or level and should be compacted in layers - avoid mechanical compaction unless there is at least 450mm compacted material over the top of drain.
All pipes penetrating walls to be intolled over using 150mm x 100mm rc lintols and have 50mm min. clearance all round
Manholes to be proprietary upvc complete with medium duty galv ms airtight covers- heavy duty in traffic areas
Access points shall comply with TB'N tables 3.4, 3.5, and 3.6
There shall be an access point at or near the head of each length of drain, at a bend, at a change of gradient, at a change of pipe size, at a junction, on long lengths of drain not greater than shown in TB'N table 3.5 and within 12m of the connection to a sewer unless there is access at the connection.
External access points shall have removable non-ventilating covers of durable material and suitable strength for location
Internal access points shall have mechanically fixed airtight covers.
Manholes deeper than 1m shall have metal step ladders or fixed ladders.
Waste pipes to discharge below level of gully grating
All gullies to be rodable.
Provide deep seal traps to all first floor appliances
Soil and vent pipes to be 100mm dia upvc with roof vent outlets at least 1000mm min above highest window heads
All svp's in rooms to be wrapped in 50mm isover acoustic insulation quilt and encased with 12.5mm plasterboard & skim on 50x50 timber framing
See notes elsewhere for fire protection to svp's at compartment floors
Connections to public sewers to be approved by NI WATER.

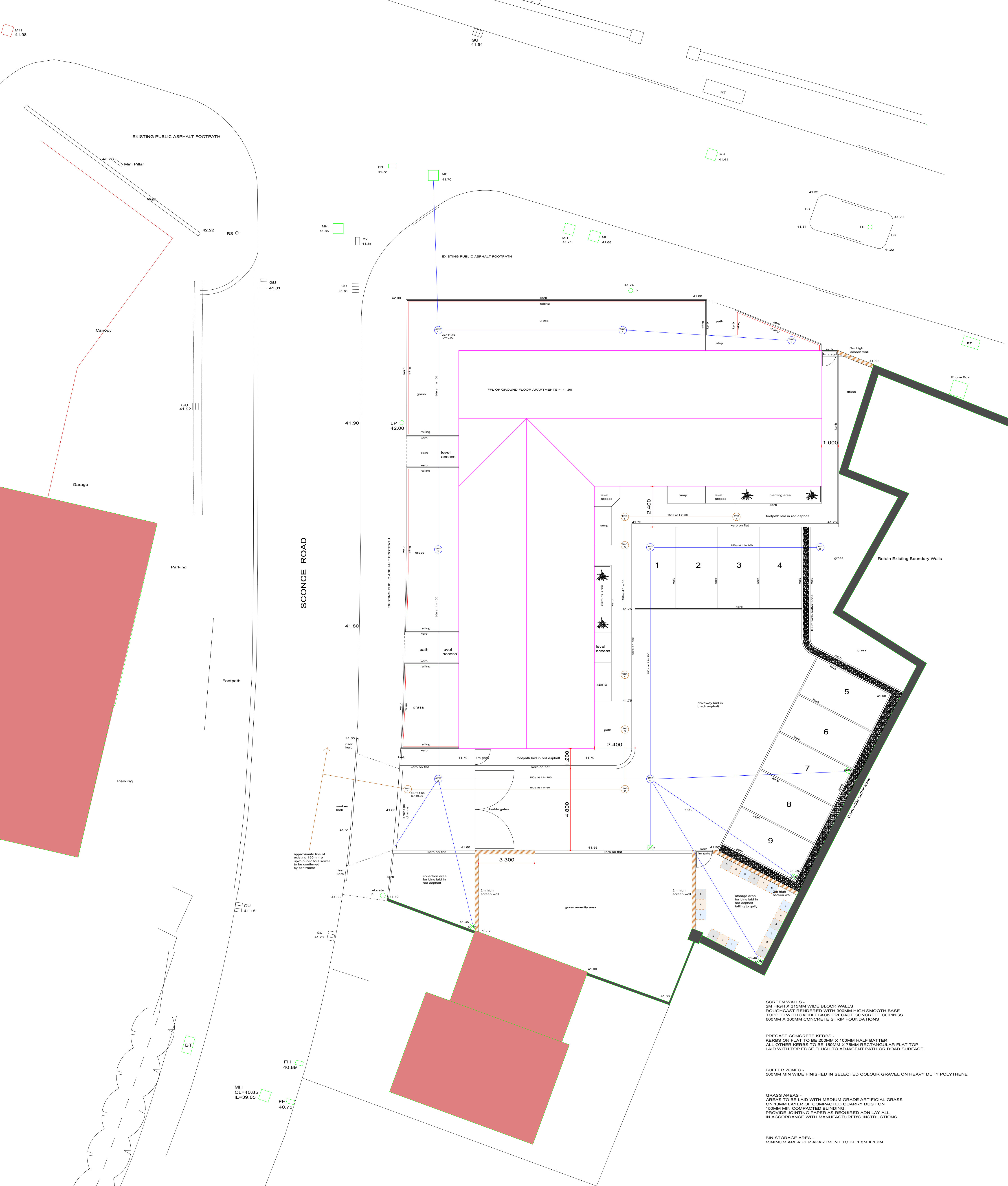


Client:	MR A ROBINSON		
Project:	PROPOSED HOUSING DEVELOPMENT 25m NORTH OF 6 SCONCE ROAD ARTICLAIVE COLERAINE BT51 4JT		
Title:	PROPOSED GROUND FLOOR PLAN		
Scale:	1-50 @ A1	Date:	APRIL 2020
Drawn:	TJ	Drwg No:	18-09-03

McDowell Property Services
25a Downgry Road, Clough Ballymena BT44 9SB
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ROAD NOTES -

PROVIDE 2.4M X 33M VISIBILITY SLAY NORTHWARDS OVER EXISTING FOOTPATH
PROVIDE 2.4M X 48M VISIBILITY SLAY SOUTHWARDS TO TANGENT

ANY POLE OR COLUMN MATERIALLY AFFECTING VISIBILITY SHALL BE REMOVED / RELOCATED BEHIND SLAYS
NO WORK SHALL COMMENCE ON SITE UNTIL THE VISIBILITY SLAYS HAVE BEEN PROVIDED.
THE LINE OF ANY NEW FENCE OR WALL MUST BE POSITIONED BEHIND THE VISIBILITY SLAYS.

THE ACCESS SHALL HAVE A MINIMUM WIDTH OF 4.8M
GRADIENT OF ACCESS SHALL NOT EXCEED 1:12.5 (8%) OVER FIRST 5M OUTSIDE THE ROAD BOUNDARY.
WHERE THE VEHICULAR ACCESS CROSSES A FOOTWAY
THE ACCESS GRADIENT SHALL BE BETWEEN 4% (1:25) MAXIMUM AND 2.5% (1:40) MINIMUM AND SHALL BE FORMED
SO THAT THERE IS NO ABRUPT CHANGE OF SLOPE ALONG THE FOOTWAY.

DRAINAGE SHALL BE PROVIDED AT ACCESS BY WAY OF FULL WIDTH
ECCORRAIN OR EQUAL DISCHARGING TO STORM DRAINAGE SYSTEM ON SITE AS SHOWN

NEW KERBS AT ACCESS TO BE 250MM X 125MM PRECAST CONCRETE
SUNKEN KERBS AT ACCESS TO EXTEND 1.8M BEYOND ACCESS WIDTH ON BOTH SIDES
PROVIDE RISER KERBS AS SHOWN

OTHER KERBS ON SITE AS SPECIFIED ELSEWHERE

PROVIDE LOWERED FOOTPATHS AT ACCESS TO THE SATISFACTION OF DFI ROADS

ALL DISTURBED PUBLIC SURFACES TO BE REINSTATED TO THE SATISFACTION OF DFI ROADS

CHARTERED STRUCTURAL ENGINEER'S CERTIFICATE TO BE SUBMITTED TO
DFI ROADS, STRUCTURES SECTION CONFIRMING ADEQUACY OF CONSTRUCTION
OF 2M HIGH WALL ADJACENT TO PUBLIC FOOTPATH

DRIVEWAY CONSTRUCTION - BLACK ASPHALT

WEARING COURSE 40MM MIN COMPACTED DEPTH OF 14MM SIZE HOT ROLLED ASPHALT
BASE COURSE 50MM MIN COMPACTED DEPTH OF 20MM SIZE DENSE B/C ASPHALT CONCRETE
225MM MIN COMPACTED DEPTH OF 65MM CRUSHED ROCK
50MM DUST BLINDING

FOOTPATH CONSTRUCTION - RED ASPHALT

WEARING COURSE 25MM MIN COMPACTED DEPTH OF 14MM SIZE HOT ROLLED ASPHALT
BASE COURSE 50MM MIN COMPACTED DEPTH OF 20MM SIZE DENSE B/C ASPHALT CONCRETE
150MM MIN COMPACTED DEPTH OF 65MM CRUSHED ROCK
50MM DUST BLINDING

SCREEN WALLS -
2M HIGH X 215MM WIDE BLOCK WALLS
ROUGHCAST RENDERED WITH 300MM HIGH SMOOTH BASE
TOPPED WITH SADDLEBACK PRECAST CONCRETE COPINGS
600MM X 300MM CONCRETE STRIP FOUNDATIONS

PRECAST CONCRETE KERBS -
KERBS ON FLAT TO BE 200MM X 100MM HALF BATTER.
ALL OTHER KERBS TO BE 150MM X 75MM RECTANGULAR FLAT TOP
LAID WITH TOP EDGE FLUSH TO ADJACENT PATH OR ROAD SURFACE.

BUFFER ZONES -
500MM MIN WIDE FINISHED IN SELECTED COLOUR GRAVEL ON HEAVY DUTY POLYTHENE

GRASS AREAS -
AREAS TO BE LAID WITH MEDIUM GRADE ARTIFICIAL GRASS
ON 13MM LAYER OF COMPACTED QUARRY DUST ON
150MM MIN COMPACTED BLINDING.
PROVIDE JOINTING PAPER AS REQUIRED AND LAY ALL
IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

BIN STORAGE AREA -
MINIMUM AREA PER APARTMENT TO BE 1.8M X 1.2M

ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR
CONTRACTOR TO CONFIRM PUBLIC SEWER DETAILS PRIOR TO
COMMENCING DRAINAGE CONSTRUCTION

Client: MR A ROBINSON

Project: PROPOSED HOUSING DEVELOPMENT
25m NORTH of 6 SCONCE ROAD
ARTICLAVE
COLERAINE
BT51 4JT

Title: PROPOSED SITE LAYOUT

Scale: 1-100 at A1 Date: APRIL 2020
Drawn: T.J. Dwg No: 18-09-02

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