



PAUL ROBINSON MORTGAGES

INDEPENDENT FINANCIAL ADVICE AVAILABLE

Mortgages | Life Assurance | Critical Illness | Accident, Sickness & Redundancy Cover | Income Protection | Buildings & Contents Insurance | Trusts |

To arrange an initial appointment please contact:

ARMSTRONG GORDON

YOUR HOME MAY BE REPOSSESSED IF YOU DO NOT KEEP UP REPAYMENTS ON YOUR MORTGAGE.

Typically we do not charge a fee for mortgage advice. However depending upon your circumstances a fee of up to 1.5% of the mortgage amount may be charged. Approval Number H0114170





ARMSTRONG GORDON

& Company Limited

THE PROFESSIONAL PROPERTY AGENT [Est. 1947]



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ARMSTRONG GORDON



Score	Energy rating	Current	Potential
92+	A		
81-91	B		
69-80	C	74 c	74 c
55-68	D		
39-54	E		
21-38	F		
1-20	G		

PORTRUSH

7 Lansdowne Lane

BT55 8AZ

Offers Over £159,500

028 7083 2000
www.armstronggordon.com

Armstrong Gordon are delighted to offer a tastefully finished 2 bedroom townhouse in excellent decorative order throughout and offering a superb position within Portrush town centre. Within close proximity to most local amenities this is an ideal holiday home and is part of an extensively renovated block.

From Portrush Harbour head through Ramore Street and turn right into Princess st. Near the bottom of Princess street turn left onto Lansdowne lane and the subject property will be located on your right hand side.

ACCOMMODATION COMPRISES:

GROUND FLOOR:

Entrance Hall:

With tiled floor.

Lounge/Dining Area:

With recessed lights and laminate wood floor.

11'9 x 11'10



Kitchen:

With single drainer stainless steel sink unit, high and low level built in units with tiling between, BEKO stainless steel oven, ceramic hob and stainless steel extractor fan above, integrated dish washer, integrated fridge freezer, recessed lights and laminate wood floor. 10'5 x 5'6



Separate W.C.:

With w.c., wash hand basin and tiled floor.

Bedroom 1:

12'8 x 8'9



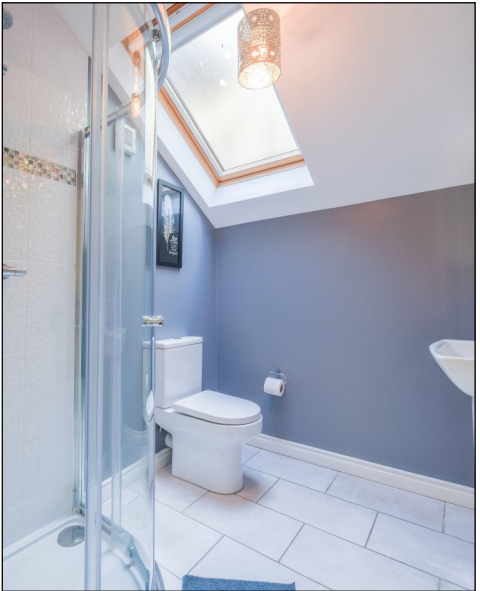
Bedroom 2:

10'5 x 9'2



Shower Room:

With w.c., wash hand basin with tiled splashback, fully tiled walk in shower cubicle, extractor fan, Velux window and tiled floor.



SPECIAL FEATURES:

- ** Oil Fired Central Heating
- ** PVC Double Glazed Windows
- ** Excellent Decorative Order
- ** Very Popular Central Location
- ** Furniture Available For Separate Negotiation

TENURE:

Leasehold

CAPITAL VALUE:

£77,500 (Rates: £663.63 p/a)